

235 BROOKLAKE RD., FLORHAM PARK
MORRIS COUNTY, NEW JERSEY 07932

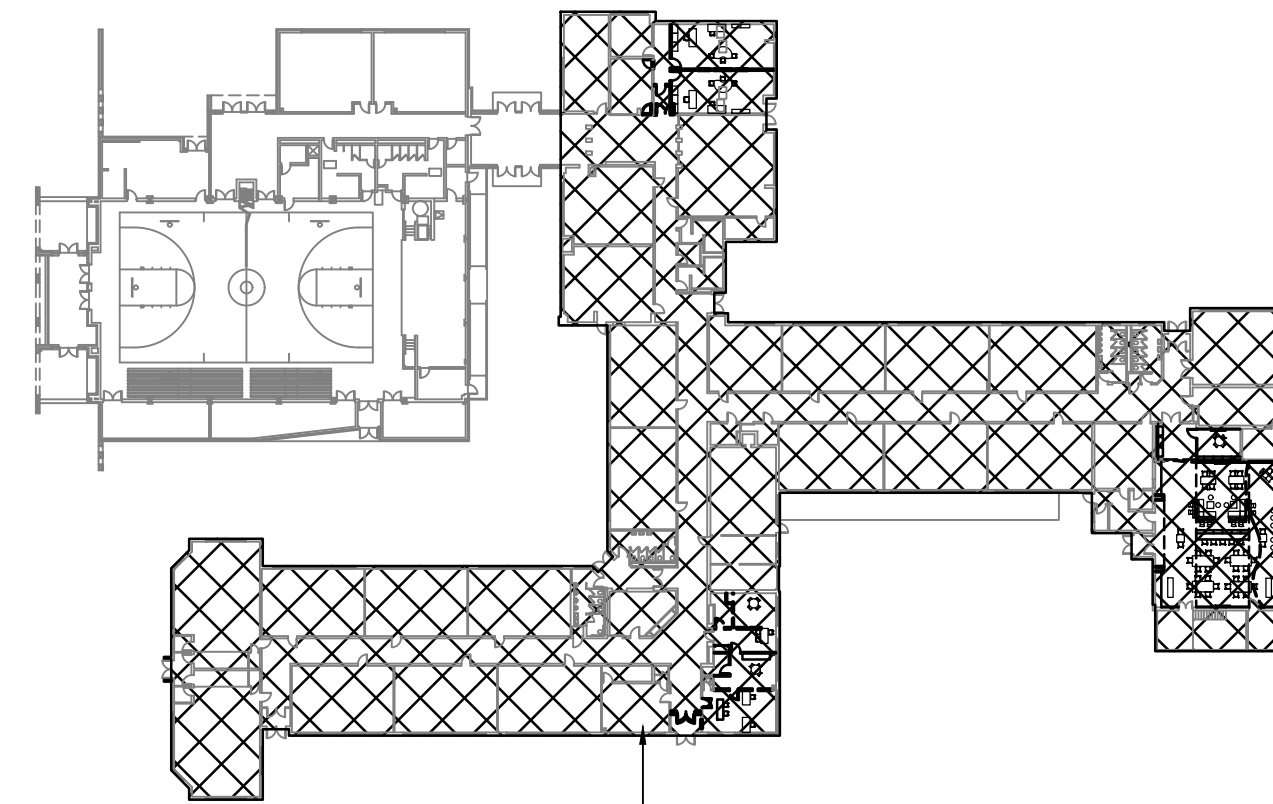
General Notes:

- Applicable Codes:

- ## Location Map

A map of the Florham Park, NJ area. The map shows various landmarks including Morris County Golf Club, Fairleigh Dickinson University, Ridgedale Middle School, and Brooklake Country Club. A black silhouette of a school building is placed on 235 Brooklake Road. A line points from this building to the text 'PROJECT LOCATION' in large, bold, black letters. Other labels on the map include 'The Funplex', 'Imagine That!!!', 'Bane Haunted House', 'Florham Park', 'Livingston Mall', 'Drew University', and 'Madison'. Road numbers 20, 24, 44, and 126 are also visible.

NOT TO SCALE



Drawing Index

Certification

THE BOARD OF EDUCATION HAS REVIEWED AND APPROVED THE DRAWINGS AND SPECIFICATIONS

SUPERINTENDENT OF SCHOOLS

DATE _____

PRESIDENT, FLORHAM PARK BOARD OF EDUCATION

DATE _____

NJ Certificate of Authorization	
Eng'r. Nos.	24GA27937500
Arch. Nos.	21AC00012400
Date	05/24/19
Checked	AR
Drawn	KR

KENNETH H. KARLE, R.A.

Revisions:

LAN ASSOCIATES

engineering • planning • architecture • surveying
44-5 GODWIN AVENUE, MIDLAND PARK, N.J. 07432 (201) 447-6400

State Project#: 1530-020-19-2000

COVER SHEET

**RENOVATIONS AND ALTERATIONS TO
BROOKLAKE ELEMENTARY SCHOOL
FLORHAM PARK BOARD OF EDUCATION
FLORHAM PARK, MORRIS COUNTY, NJ**

Job No. 2,2750,39,02

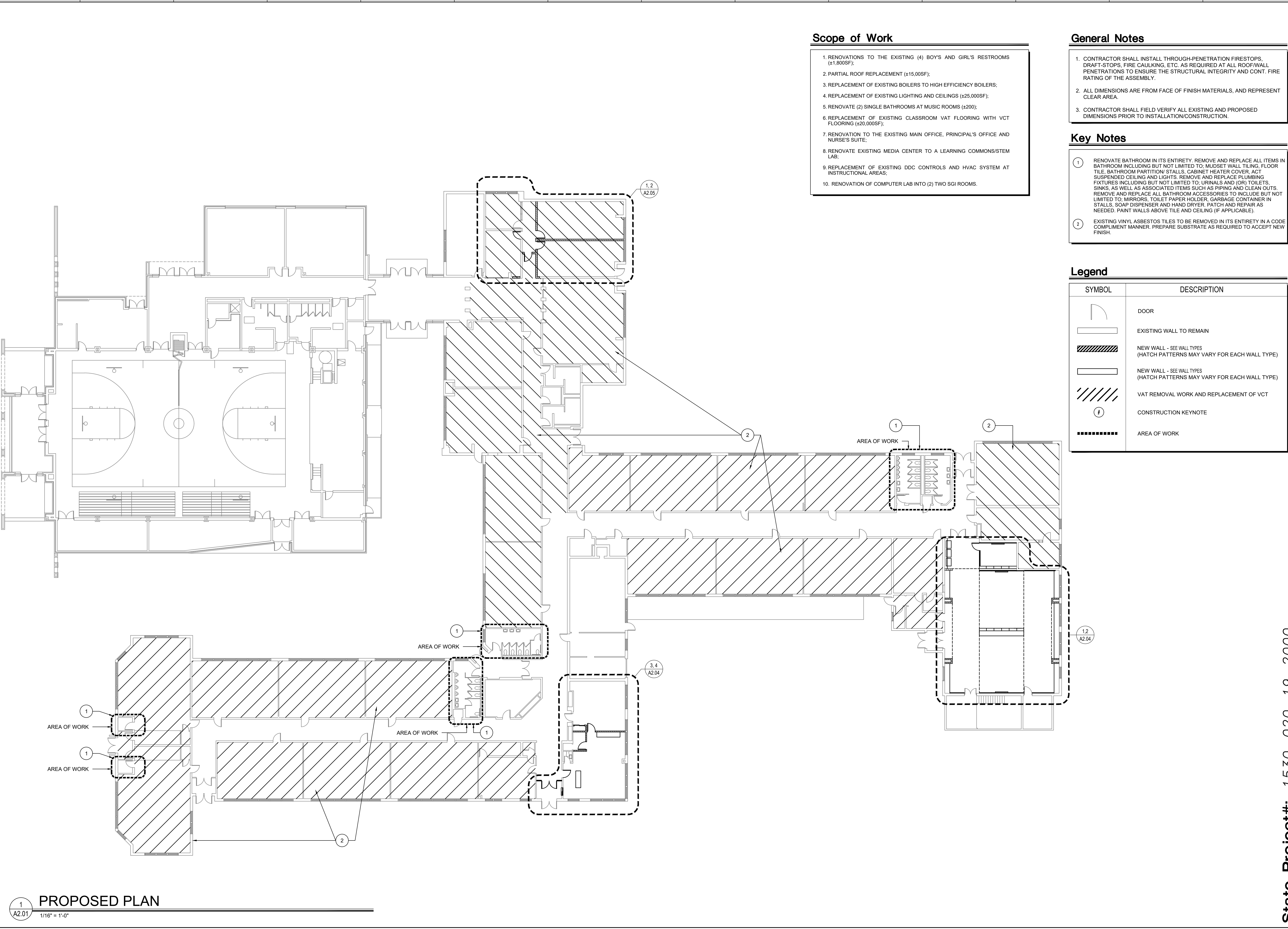
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A2.01
1/16" = 1'-0"

Scope of Work

1. RENOVATIONS TO THE EXISTING (4) BOYS' AND GIRLS' RESTROOMS (±1,800SF);
2. PARTIAL ROOF REPLACEMENT (±15,000SF);
3. REPLACEMENT OF EXISTING BOILERS TO HIGH EFFICIENCY BOILERS;
4. REPLACEMENT OF EXISTING LIGHTING AND CEILINGS (±25,000SF);
5. RENOVATE (2) SINGLE BATHROOMS AT MUSIC ROOMS (±200);
6. REPLACEMENT OF EXISTING CLASSROOM VAT FLOORING WITH VCT FLOORING (±20,000SF);
7. RENOVATION TO THE EXISTING MAIN OFFICE, PRINCIPAL'S OFFICE AND NURSE'S SUITE;
8. RENOVATE EXISTING MEDIA CENTER TO A LEARNING COMMONS/STEM LAB;
9. REPLACEMENT OF EXISTING DDC CONTROLS AND HVAC SYSTEM AT INSTRUCTIONAL AREAS;
10. RENOVATION OF COMPUTER LAB INTO (2) TWO SGI ROOMS.

General Notes

1. CONTRACTOR SHALL INSTALL THROUGH-PENETRATION FIRESTOPS, DRAFT-STOPS, FIRE CAULKING, ETC. AS REQUIRED AT ALL ROOF/WALL PENETRATIONS TO ENSURE THE STRUCTURAL INTEGRITY AND CONT. FIRE RATING OF THE ASSEMBLY.
2. ALL DIMENSIONS ARE FROM FACE OF FINISH MATERIALS, AND REPRESENT CLEAR AREA.
3. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING AND PROPOSED DIMENSIONS PRIOR TO INSTALLATION/CONSTRUCTION.

Key Notes

1. RENOVATE BATHROOM IN ITS ENTIRETY. REMOVE AND REPLACE ALL ITEMS IN BATHROOM INCLUDING BUT NOT LIMITED TO: MUDSET WALL TILING, FLOOR TILE, BATHROOM PARTITION/ STALLS, CABINET HEATER COVER, ACT SUSPENDED CEILING AND LIGHTS. REMOVE AND REPLACE PLUMBING FIXTURES INCLUDING BUT NOT LIMITED TO: URINALS AND (OR) TOILETS, SINKS, AS WELL AS ASSOCIATED ITEMS SUCH AS PIPING AND CLEAN OUTS. REMOVE AND REPLACE ALL BATHROOM ACCESSORIES TO INCLUDE BUT NOT LIMITED TO: MIRRORS, TOILET PAPER HOLDER, GARBAGE CONTAINER IN STALLS, SOAP DISPENSER AND HAND DRYER. PATCH AND REPAIR AS NEEDED. PAINT WALLS ABOVE TILE AND CEILING (IF APPLICABLE).
2. EXISTING VINYL ASBESTOS TILES TO BE REMOVED IN ITS ENTIRETY IN A CODE COMPLIMENT MANNER. PREPARE SUBSTRATE AS REQUIRED TO ACCEPT NEW FINISH.

Legend

SYMBOL	DESCRIPTION
	DOOR
	EXISTING WALL TO REMAIN
	NEW WALL - SEE WALL TYPES (HATCH PATTERNS MAY VARY FOR EACH WALL TYPE)
	NEW WALL - SEE WALL TYPES (HATCH PATTERNS MAY VARY FOR EACH WALL TYPE)
	VAT REMOVAL WORK AND REPLACEMENT OF VCT
	CONSTRUCTION KEYNOTE
	AREA OF WORK

State Project#: 1530-020-19-2000

PROPOSED PLAN

RENOVATIONS AND ALTERATIONS TO
BROOKLAKE ELEMENTARY SCHOOL
FLORHAM PARK BOARD OF EDUCATION
FLORHAM PARK, MORRIS COUNTY, NJ

Job No. 2.2750.39.02
File No. 27503902A201

A2.01

LAN ASSOCIATES

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Revisions:

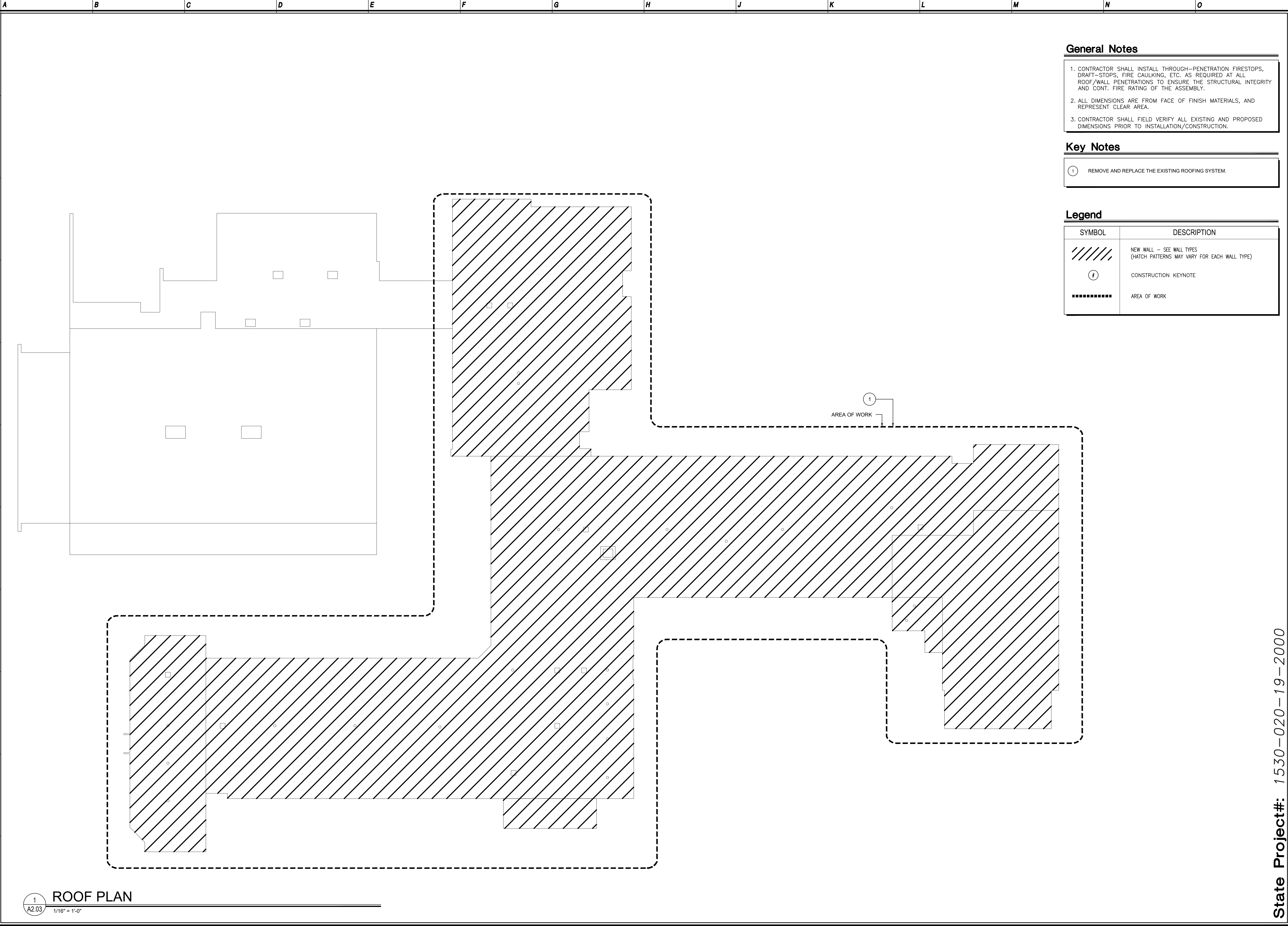
KENNETH H. KARLE, R.A.

License No. NJ27A00890600

NJ Certificate of Authorization	
Eng'r. No.	24027937500
Arch. No.	21A00012400
Date	05/24/19
Checked	AR
Drawn	KR

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1/16" = 1'-0"

ROOF PLAN

General Notes

1. CONTRACTOR SHALL INSTALL THROUGH-PENETRATION FIRESTOPS, DRAFT-STOPS, FIRE CAULKING, ETC. AS REQUIRED AT ALL ROOF/WALL PENETRATIONS TO ENSURE THE STRUCTURAL INTEGRITY AND CONT. FIRE RATING OF THE ASSEMBLY.
2. ALL DIMENSIONS ARE FROM FACE OF FINISH MATERIALS, AND REPRESENT CLEAR AREA.
3. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING AND PROPOSED DIMENSIONS PRIOR TO INSTALLATION/CONSTRUCTION.

Key Notes

- 1 REMOVE AND REPLACE THE EXISTING ROOFING SYSTEM.

Legend

SYMBOL	DESCRIPTION
////	NEW WALL - SEE WALL TYPES (HATCH PATTERNS MAY VARY FOR EACH WALL TYPE)
Ⓢ	CONSTRUCTION KEYNOTE
.....	AREA OF WORK

NJ Certificate of Authorization

Eng'r. No.	24627937500
Arch. No.	216200012400
Date	05/24/19
Checked	AR
Drawn	KR

KENNETH H. KARLE, R.A.

REGISTERED ARCHITECT

License No. NJ21A00890600

Revisions:

1	REMOVE AND REPLACE THE EXISTING ROOFING SYSTEM.
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ROOF PLAN

RENOVATIONS AND ALTERATIONS TO
BROOKLAKE ELEMENTARY SCHOOL
FLORHAM PARK BOARD OF EDUCATION
FLORHAM PARK, MORRIS COUNTY, NJ

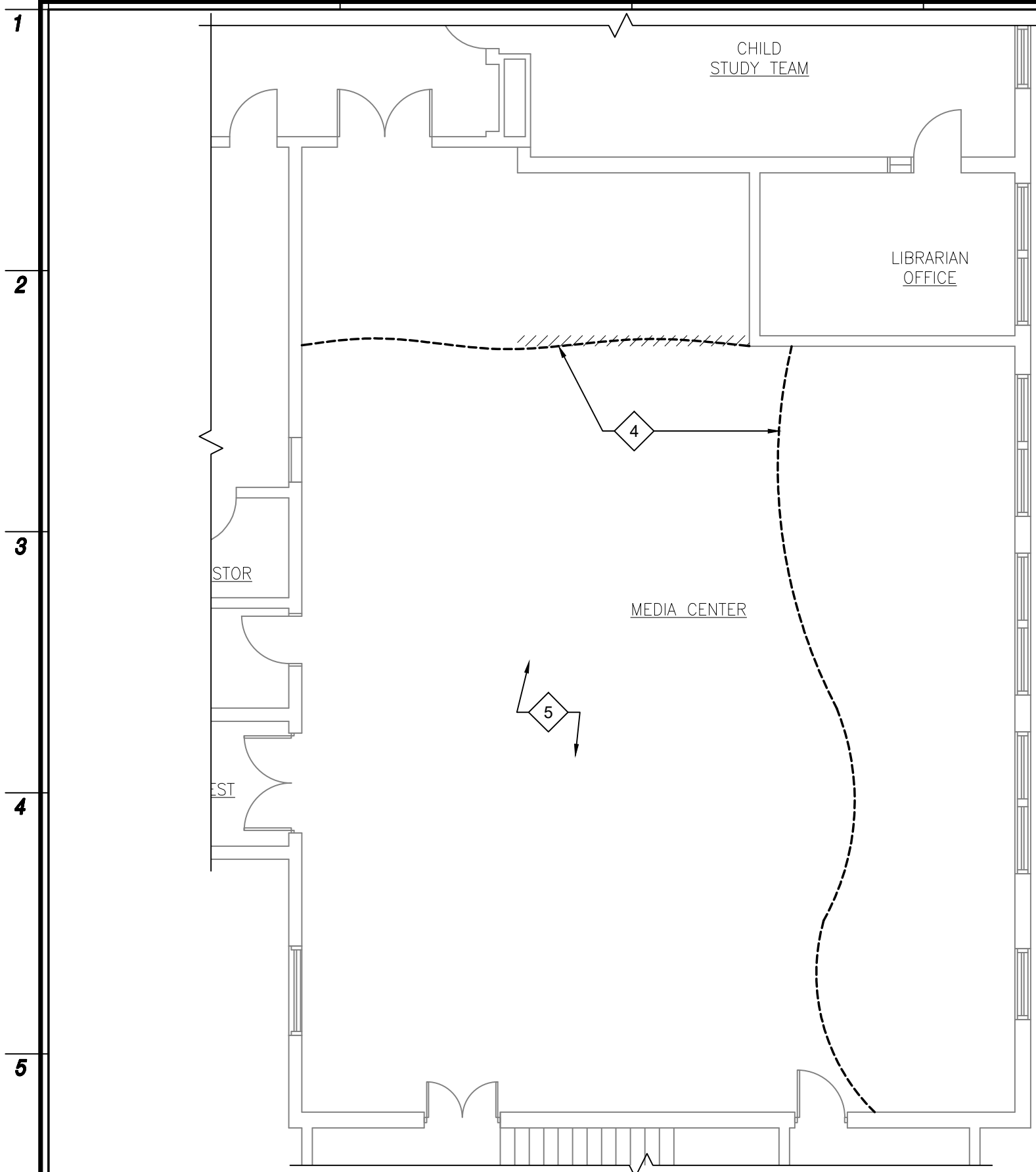
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Job No. 2.2750.39.02

File No. 27503902A203

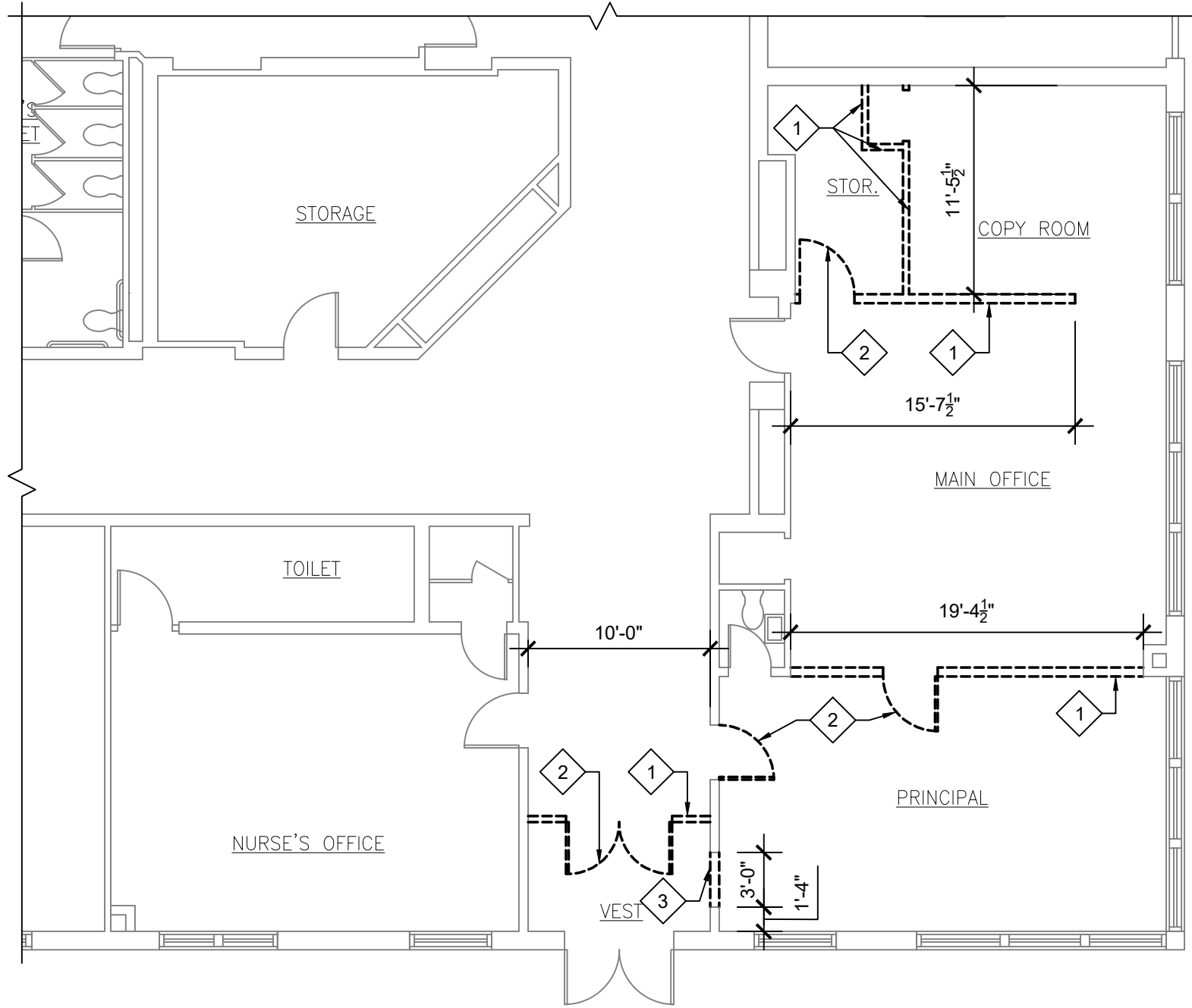
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A2.04
1/8" = 1'-0"

MEDIA CENTER DEMO PLAN



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A2.04
1/8" = 1'-0"

MAIN/ PRINCIPAL'S OFFICE DEMO PLANS

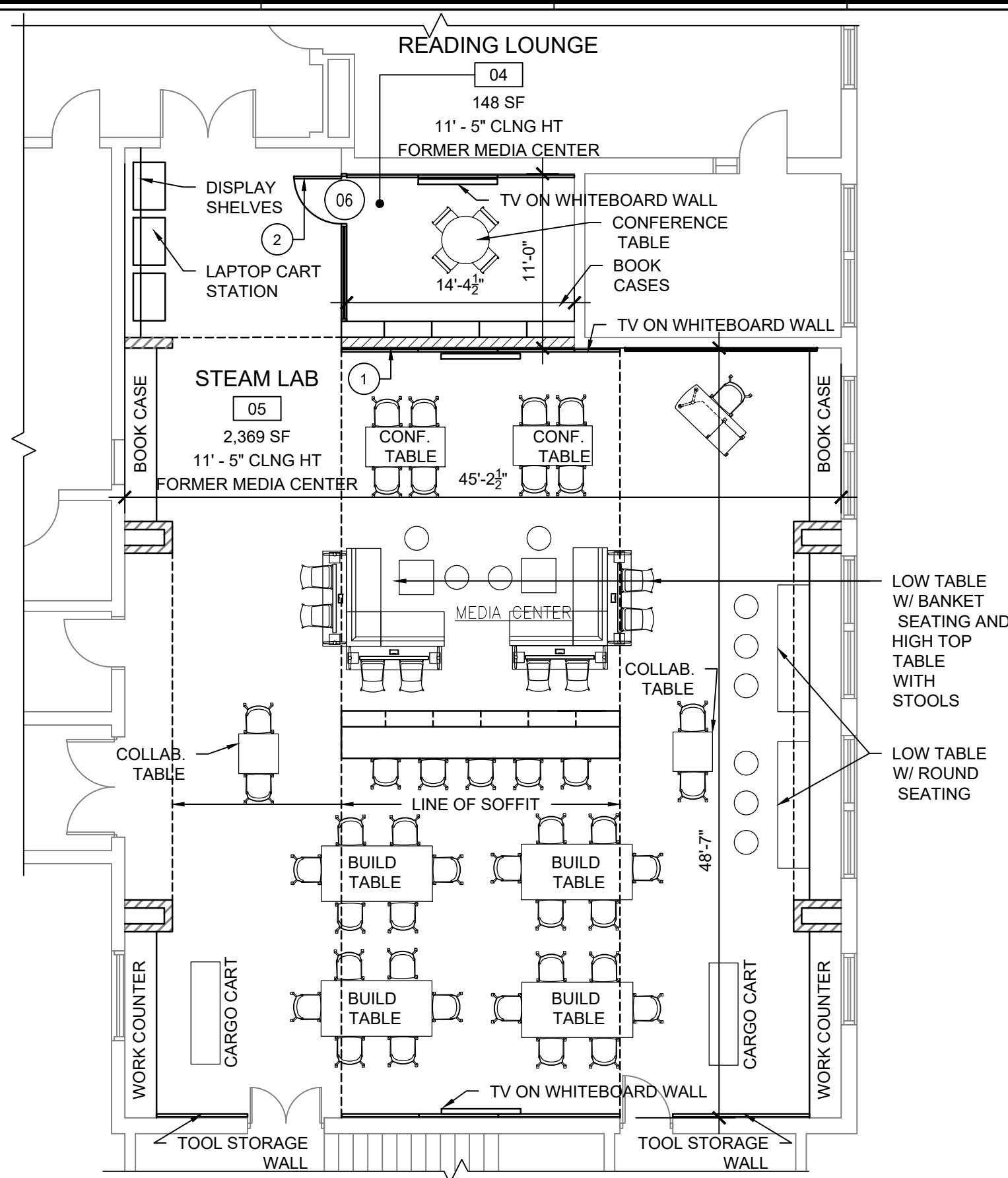
ENLARGED DEMO PLANS

DEMOLITION LEGEND

SYMBOL	DESCRIPTION
	EXISTING DOOR, FRAME AND HARDWARE TO BE REMOVED
	EXISTING DOOR TO REMAIN
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	EXISTING OBJECT TO BE REMOVED
	DEMOLITION KEYNOTE
	AREA OF WORK

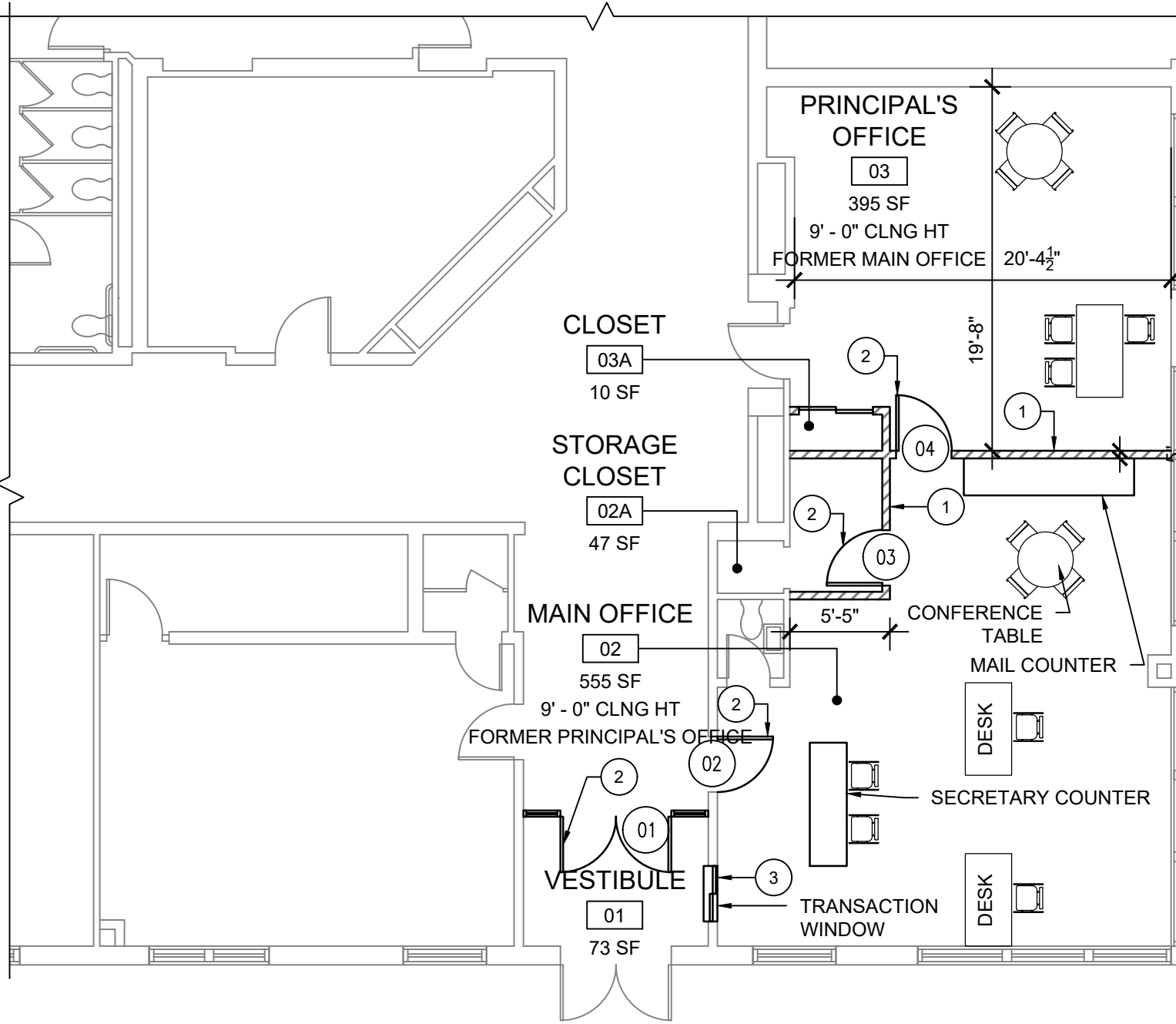
DEMOLITION NOTES

DEMOLITION NOTES
1 CONTRACTOR TO DEMOLISH PORTION OF EXISTING WALL AS INDICATED, TO ACCOMMODATE NEW SCOPE OF WORK. REFER TO 2/A2.05.
2 EXISTING DOOR, DOOR FRAME AND ALL ASSOCIATED HARDWARE TO BE REMOVED IN THEIR ENTIRETY. PREPARE ROUGH OPENING TO ACCEPT NEW SCOPE OF WORK. REFER TO 2/A2.05.
3 CUT & MODIFY EXISTING WALL, AS REQ'D, TO ACCOMMODATE INSTALLATION OF NEW SECURED TRANSACTION WINDOW.
4 REMOVE EXISTING SOFFIT.
5 REMOVE EXISTING FLOOR & CEILING FINISHES. PREPARE SUBSTRATES, AS REQ'D TO ACCEPT NEW SCOPE OF WORK.



2
A2.04
1/8" = 1'-0"

MEDIA CENTER PROPOSED PLAN



2
A2.04
1/8" = 1'-0"

MAIN/ PRINCIPAL'S PROPOSED PLANS

PROPOSED LEGEND

SYMBOL	DESCRIPTION
	PARTITION TYPE - SEE SHEET XX.XX FOR ADDITIONAL INFORMATION
	DOOR TYPE - REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION
	WINDOW TYPE - REFER TO WINDOW SCHEDULE FOR ADDITIONAL INFORMATION
	NEW CONSTRUCTION
	EXISTING WALLS TO REMAIN
	PROPOSED NOTE
	AREA OF WORK

PROPOSED NOTES

PROPOSED FLOOR PLAN NOTES
1 PROVIDE & INSTALL NEW PARTITION.
2 PROVIDE & INSTALL NEW DOOR, DOOR FRAME AND ALL ASSOCIATED HARDWARE.
3 PROVIDE & INSTALL NEW TRANSACTION WINDOW, WINDOW FRAME AND ALL ASSOCIATED HARDWARE.

GENERAL NOTES

- CONTRACTOR SHALL INSTALL THROUGH-PENETRATION FIRESTOPS, DRAFT-STOPS, FIRE CAULKING, ETC. AS REQUIRED AT ALL ROOF/WALL PENETRATIONS TO ENSURE THE STRUCTURAL INTEGRITY AND CONT. FIRE RATING OF THE ASSEMBLY.
- ALL DIMENSIONS ARE FROM FACE OF FINISH MATERIALS, AND REPRESENT CLEAR AREA.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING AND PROPOSED DIMENSIONS PRIOR TO INSTALLATION/CONSTRUCTION.

FURNITURE/ EQUIPMENT SCHEDULE

PROPOSED STEAM LAB 05				
GROSS AREA: 2,517 SF OCCUPANCY: 24 STUDENTS / 1 TEACHER 25 X 20 SF / OCCUPANT = 500 SF				
FURNITURE EQUIPMENT				
ITEM	SIZE (DXW)	QUANTITY	SF/UNIT	TOTAL SF
A. DISPLAY CABINET	1.00 X 12.00	1	12.00	12.00
B. LAPTOP CARTS	2.00 X 3.00	3	6.00	18.00
C. BOOK CASES	2.00 X 11.00	3	22.00	66.00
D. MOBILE TEACHER STATION	2.50 X 5.00	1	12.50	12.50
E. CONFERENCE TABLE ROUND	3.00 X 3.00	1	7.10	7.10
F. LOW TABLE 1 W/ BANKET SEATING	10.00 X 10.00	2	100.00	200.00
G. LOW TABLE 2 W/ ROUND SEATING	7.00 X 8.00	2	56.00	112.00
H. WORK COUNTER	2.00 X 11.67	2	23.34	46.68
I. BUILD BAR	4.00 X 14.67	1	58.68	58.68
J. COLLAB TABLE W/ BASE CABINETS	2.50 X 2.50	2	6.25	12.50
K. CONFERENCE TABLE RECTANGULAR	2.50 X 5.00	2	12.50	25.00
L. BUILD TABLE	4.00 X 8.00	4	32.00	128.00
M. CARGO CART	2.00 X 4.00	2	8.00	16.00
N. CHAIR	2.00 X 2.00	54	4.00	216.00
TOTAL = 930.46 SF				
TOTAL AREA REQUIRED: 1430.46 SF 2517 SF > 1430.46 SF				

FURNITURE/ EQUIPMENT SCHEDULE

PROPOSED PRINCIPAL'S OFFICE 03				
GROSS AREA: 395 SF OCCUPANCY: 1 FULL TIME STAFF / 2 VISITORS 1 X 60 SF / FULL TIME OCCUPANT = 60 SF 2 X 20 SF / FULL TIME OCCUPANT = 40 SF				
FURNITURE EQUIPMENT				
ITEM	SIZE (DXW)	QUANTITY	SF/UNIT	TOTAL SF
A. DESK	2.50 X 5.00	1	12.50	12.50
B. CHAIR	2.00 X 2.00	7	4.00	28.00
C. CONFERENCE TABLE	3.00 X 3.00	1	7.10	7.10
TOTAL = 47.60 SF				
TOTAL AREA REQUIRED: 147.60 SF 395 SF > 147.60 SF				

FURNITURE/ EQUIPMENT SCHEDULE

PROPOSED MAIN OFFICE 02				
GROSS AREA: 555 SF OCCUPANCY: 3 FULL TIME STAFF / 3 VISITORS 3 X 60 SF / FULL TIME OCCUPANT = 180 SF 3 X 20 SF / VISITOR = 60 SF				
FURNITURE EQUIPMENT				
ITEM	SIZE (DXW)	QUANTITY	SF/UNIT	TOTAL SF
A. MAIL COUNTER	2.00 X 9.25	1	18.50	18.50
B. DESK	2.50 X 5.00	2	12.50	25.00
C. CHAIR	2.00 X 2.00	8	4.00	32.00
D. SECRETARY COUNTER	2.00 X 6.67	1	13.34	13.34
E. CONFERENCE TABLE	3.00 X 3.00	1	7.10	7.10
TOTAL = 95.94 SF				
TOTAL AREA REQUIRED: 335.94 SF 555 SF > 335.94 SF				

NJ Certificate of Authorization	
Eng'r. No.	240427837500
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KENNETH H. KARLE, R.A.

Revisions:

LAN ASSOCIATES

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STEM LAB ENLARGED PLANS
RENOVATIONS AND ALTERATIONS TO
BROOKLAKE ELEMENTARY SCHOOL
FLORHAM PARK BOARD OF EDUCATION
FLORHAM PARK, MORRIS COUNTY, NJ

Job No. 2.2750.39.02
File No. 27503902A204

A2.04

State Project#: 1530-020-19-2000

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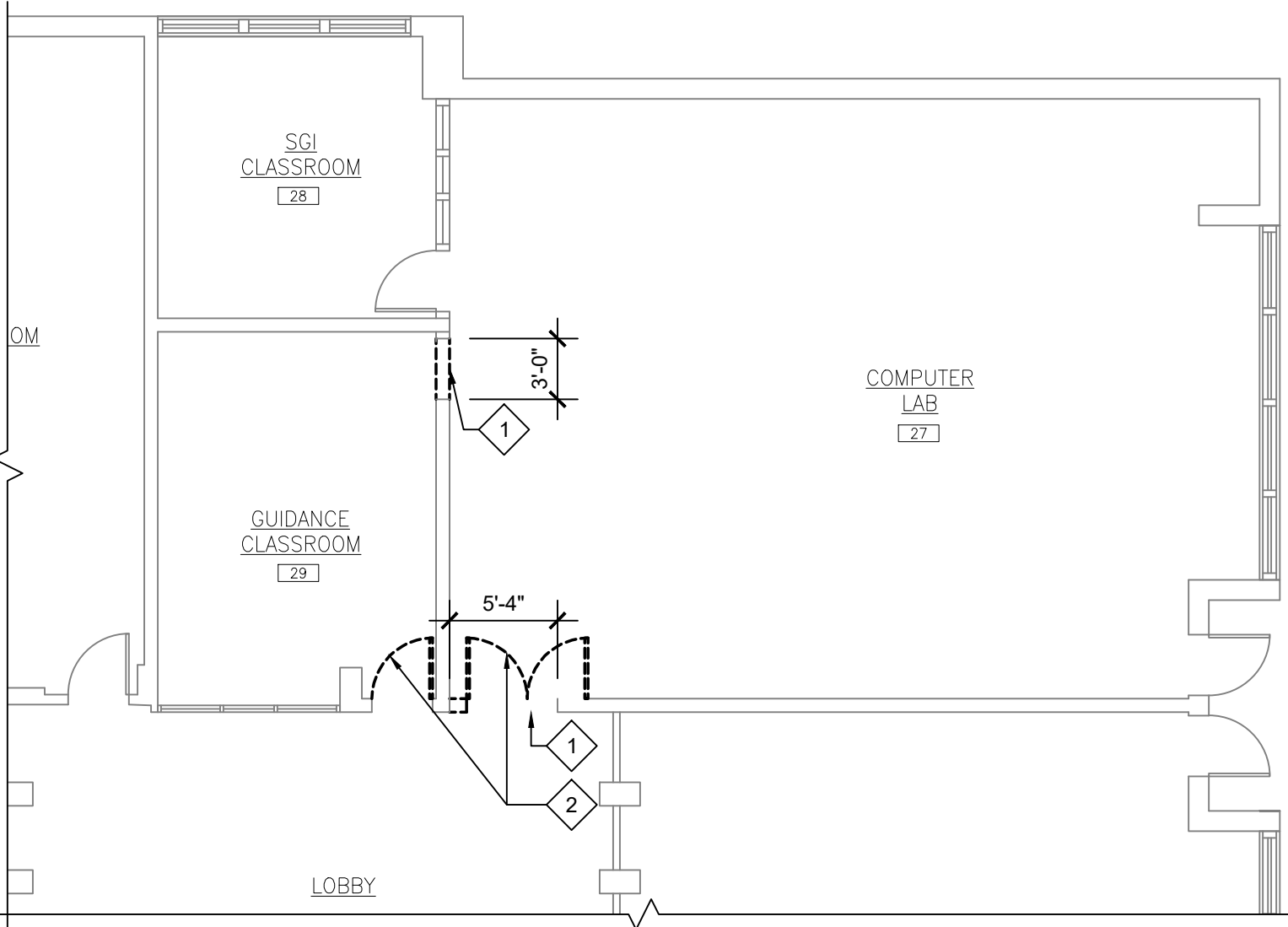
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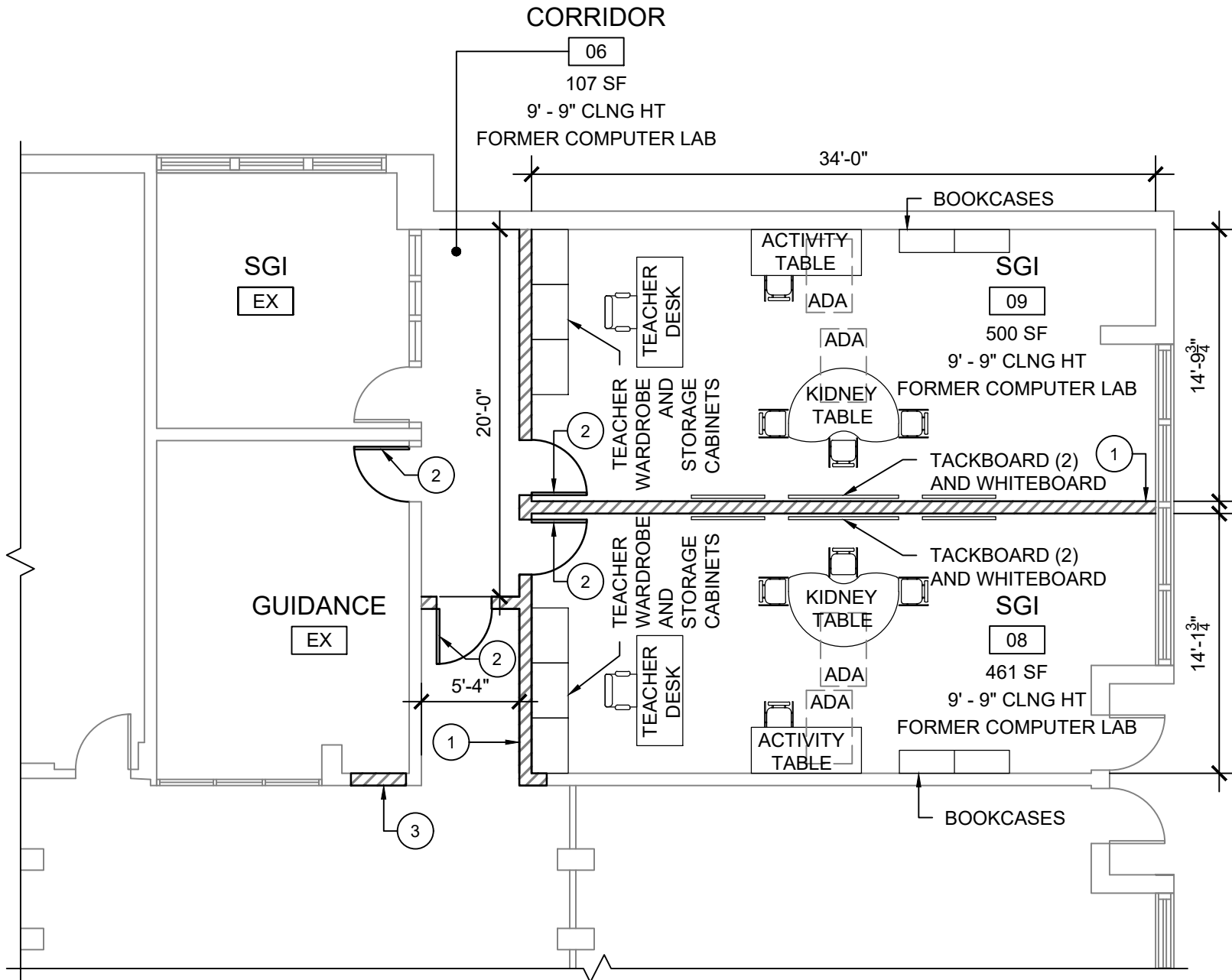
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A2.05
1/8" = 1'-0"

DEMOLITION LEGEND

SYMBOL	DESCRIPTION
	EXISTING DOOR TO BE REMOVED
	EXISTING DOOR TO REMAIN
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	EXISTING OBJECT TO BE REMOVED
	DEMOLITION KEYNOTE

DEMOLITION NOTES

DEMOLITION NOTES
1 CONTRACTOR TO DEMOLISH PORTION OF EXISTING WALL AS INDICATED, TO ACCOMMODATE NEW SCOPE OF WORK. REFER TO 2/A2.05.
2 EXISTING DOOR, DOOR FRAME AND ALL ASSOCIATED HARDWARE TO BE REMOVED IN THEIR ENTIRETY. PREPARE ROUGH OPENING TO ACCEPT NEW SCOPE OF WORK. REFER TO 2/A2.05.
3 REMOVE EXISTING WALL AREA FOR TRANSACTION WINDOW.
4 REMOVE EXISTING SOFFIT.



2
A2.05
1/8" = 1'-0"

PROPOSED LEGEND

SYMBOL	DESCRIPTION
	PARTITION TYPE - SEE SHEET XX.XX FOR ADDITIONAL INFORMATION
	DOOR TYPE - REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION
	WINDOW TYPE - REFER TO WINDOW SCHEDULE FOR ADDITIONAL INFORMATION
	NEW CONSTRUCTION
	EXISTING WALLS TO REMAIN
	PROPOSED NOTE

PROPOSED NOTES

PROPOSED FLOOR PLAN NOTES
1 PROVIDE & INSTALL NEW PARTITION.
2 PROVIDE & INSTALL NEW DOOR, DOOR FRAME AND ALL ASSOCIATED HARDWARE.
3 INFILL ROUGH OPENING AS REQUIRED TO MATCH ADJACENT WALL CONSTRUCTION.

GENERAL NOTES

- CONTRACTOR SHALL INSTALL THROUGH-PENETRATION FIRESTOPS, DRAFT-STOPS, FIRE CAULKING, ETC. AS REQUIRED AT ALL ROOF/WALL PENETRATIONS TO ENSURE THE STRUCTURAL INTEGRITY AND CONT. FIRE RATING OF THE ASSEMBLY.
- ALL DIMENSIONS ARE FROM FACE OF FINISH MATERIALS, AND REPRESENT CLEAR AREA.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING AND PROPOSED DIMENSIONS PRIOR TO INSTALLATION/CONSTRUCTION.

FURNITURE/ EQUIPMENT SCHEDULE

PROPOSED SGI 08, 09				
GROSS AREA: #08 @ 461 SF #09 @ 500 SF				
OCCUPANCY: 3 STUDENTS / 1 TEACHER 4 X 20 SF / OCCUPANT = 80 SF				
FURNITURE EQUIPMENT				
ITEM	SIZE (DXW)	QUANTITY	SF/UNIT	TOTAL SF
A. STORAGE CABINET	2.00 X 3.00	2	6.00	12.00
B. CHAIR	2.00 X 2.00	5	4.00	20.00
C. ACTIVITY TABLE	2.50 X 6.00	1	15.00	15.00
D. TEACHER WARDROBE	2.00 X 3.00	1	6.00	6.00
E. TEACHER DESK	2.50 X 6.00	1	15.00	15.00
F. BOOKCASE	1.50 X 3.00	2	3.75	7.50
G. KIDNEY TABLE	3.50 X 6.00	1	19.00	19.00
TOTAL AREA REQUIRED: 174.50 SF				TOTAL = 94.50 SF
#08 = 461 SF > 174.50 SF				#09 = 500 SF > 174.50 SF

FURNITURE/ EQUIPMENT SCHEDULE

PROPOSED GUIDANCE 07				
GROSS AREA: 250 SF				
OCCUPANCY: 3 STUDENTS / 1 TEACHER 4 X 20 SF / OCCUPANT = 80 SF				
FURNITURE EQUIPMENT				
ITEM	SIZE (DXW)	QUANTITY	SF/UNIT	TOTAL SF
A. STORAGE CABINET	2.00 X 3.00	1	6.00	6.00
B. CHAIR	2.00 X 2.00	7	4.00	28.00
C. DESK	2.50 X 6.00	1	15.00	15.00
D. BOOKCASE	1.25 X 3.00	2	3.75	7.50
E. CONFERENCE TABLE	3.00 X 3.00	1	7.10	7.10
TOTAL AREA REQUIRED: 143.60 SF				TOTAL = 63.60 SF
250 SF > 143.60 SF				

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Title REGISTERED ARCHITECT License No. NJ27A00890600

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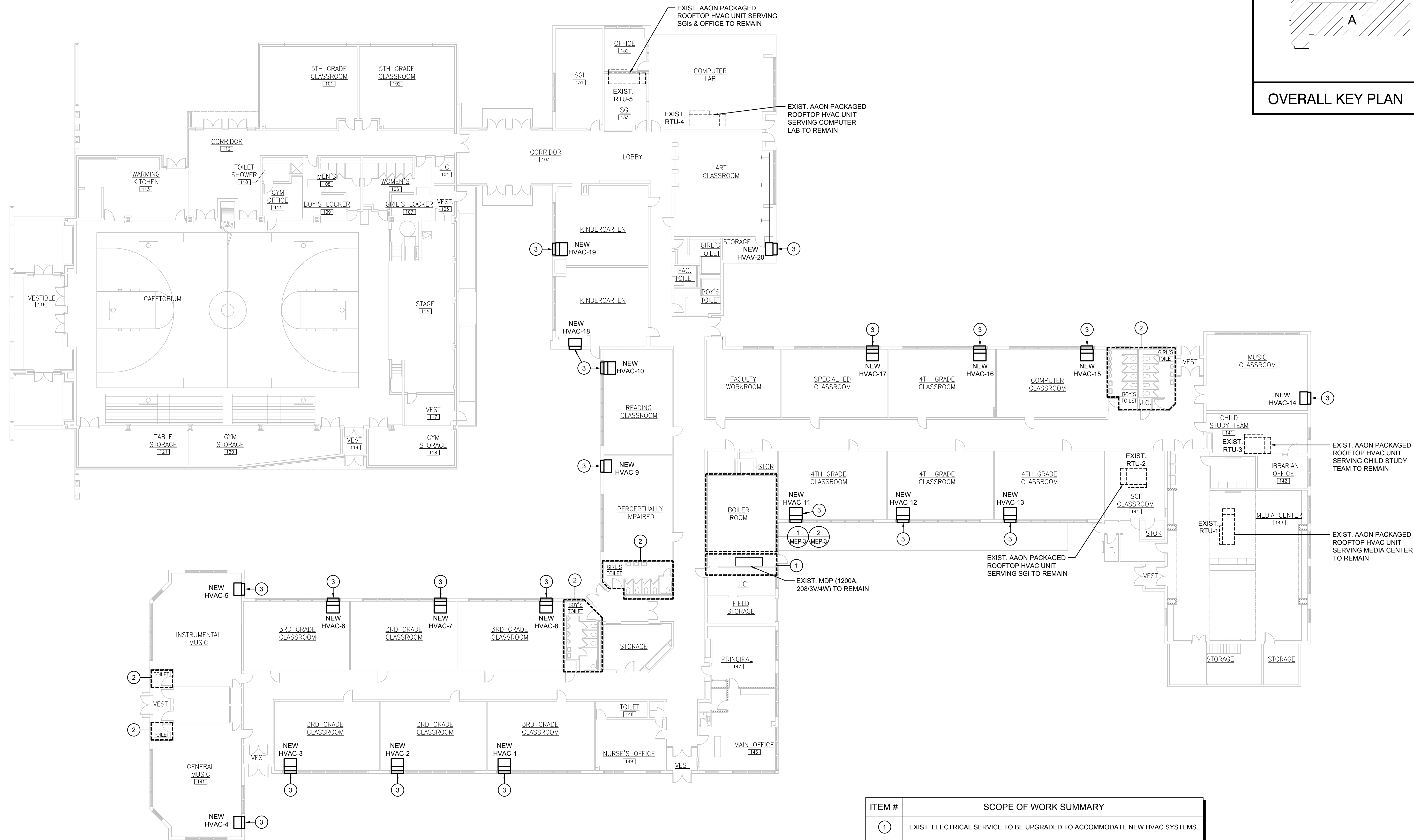
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STEM LAB ENLARGED PLANS
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FLORHAM PARK, MORRIS COUNTY, NJ

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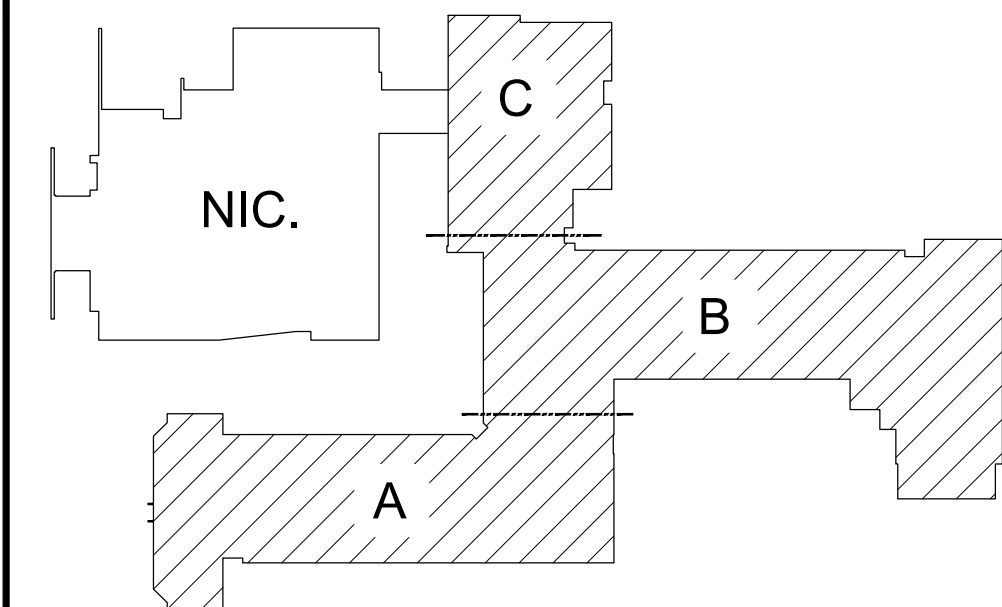
State Project#: 1530-020-19-2000



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MEP-2

GROUND FLOOR MEP PLAN

1/16" = 1'-0"



OVERALL KEY PLAN

NJ Certificate of Authorization	
Eng'r. Nos.	24GA27937500
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445 GODWIN AVENUE, MIDLAND PARK, N.J. 07432
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GROUND FLOOR MEP PLAN

**RENOVATIONS AND ALTERATIONS TO
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MEP-1

State Project#: 1530-020-19-2000

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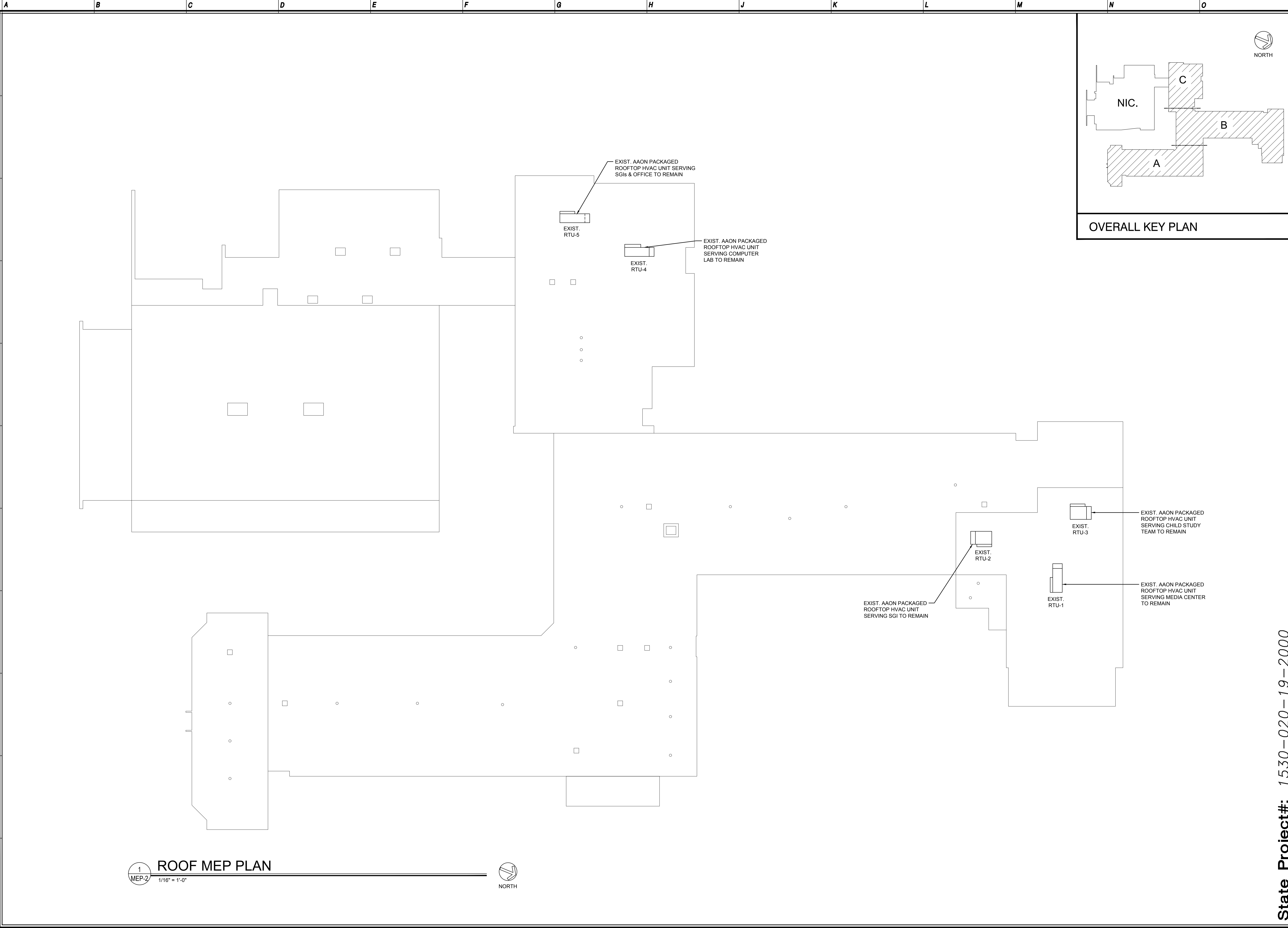
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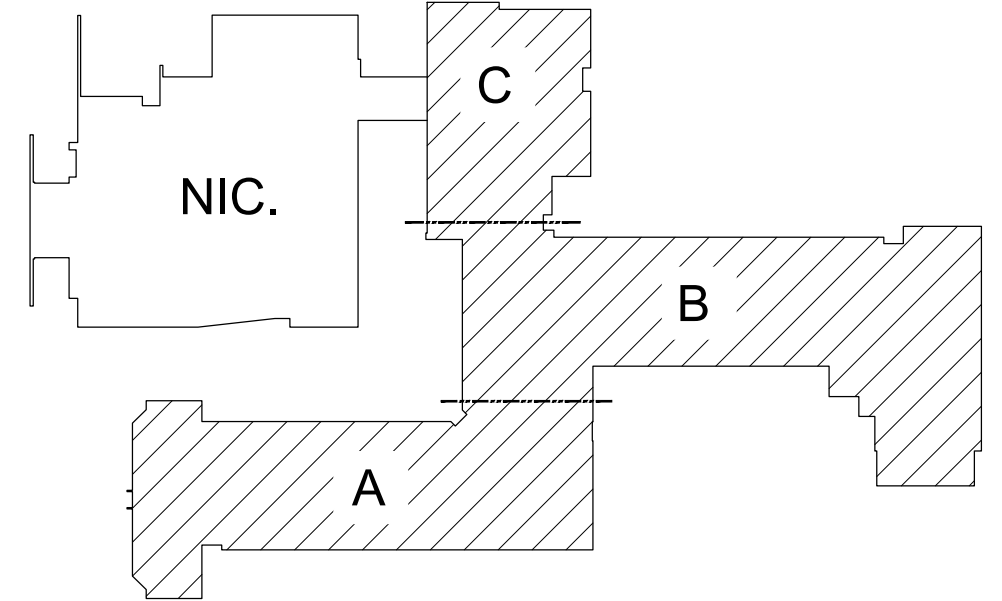
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MEP-2

ROOF MEP PLAN

1/16" = 1'-0"



OVERALL KEY PLAN



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KENNETH H. KARLE, R.A.
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License No. NJ21A0080600

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ROOF MEP PLAN
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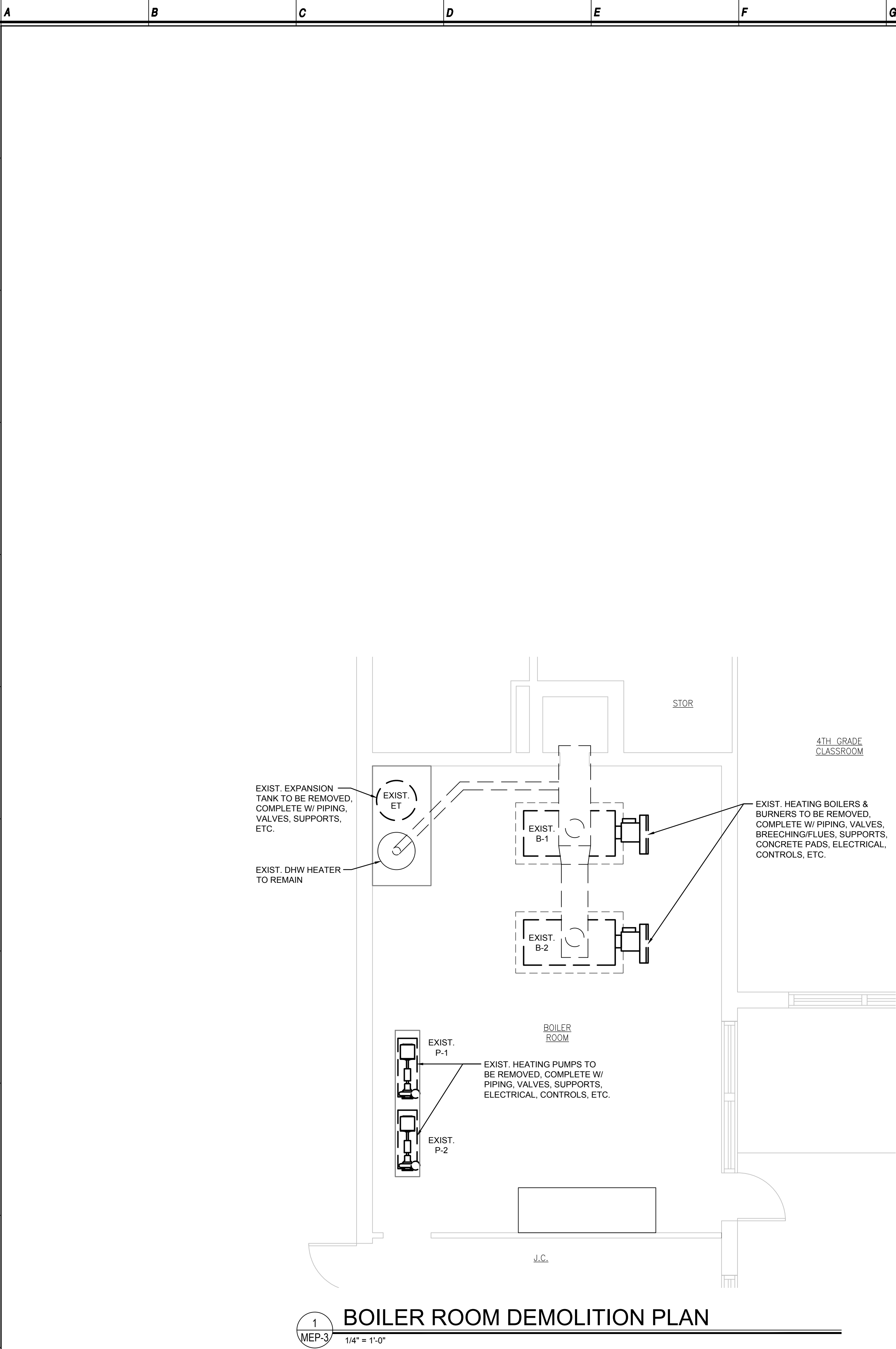
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MEP-2

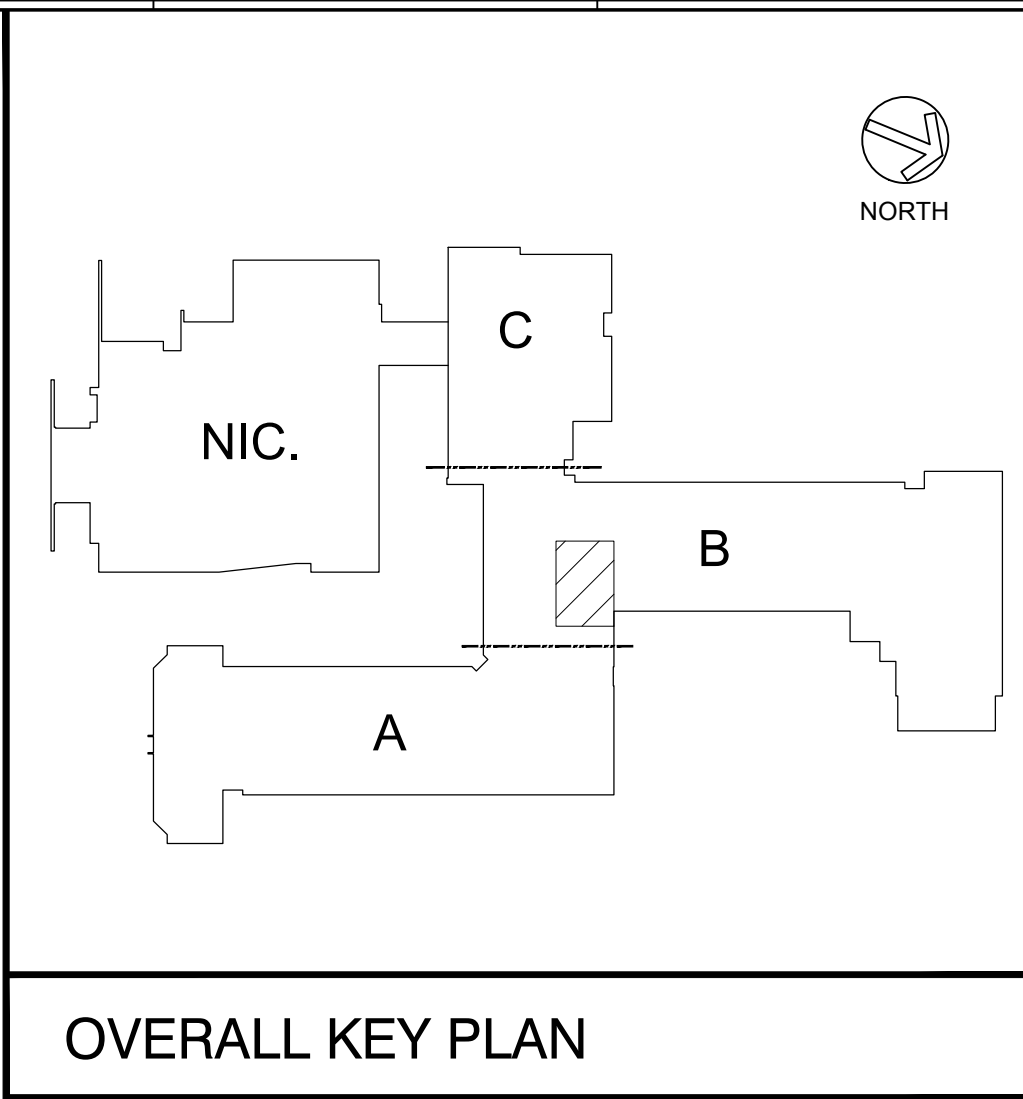
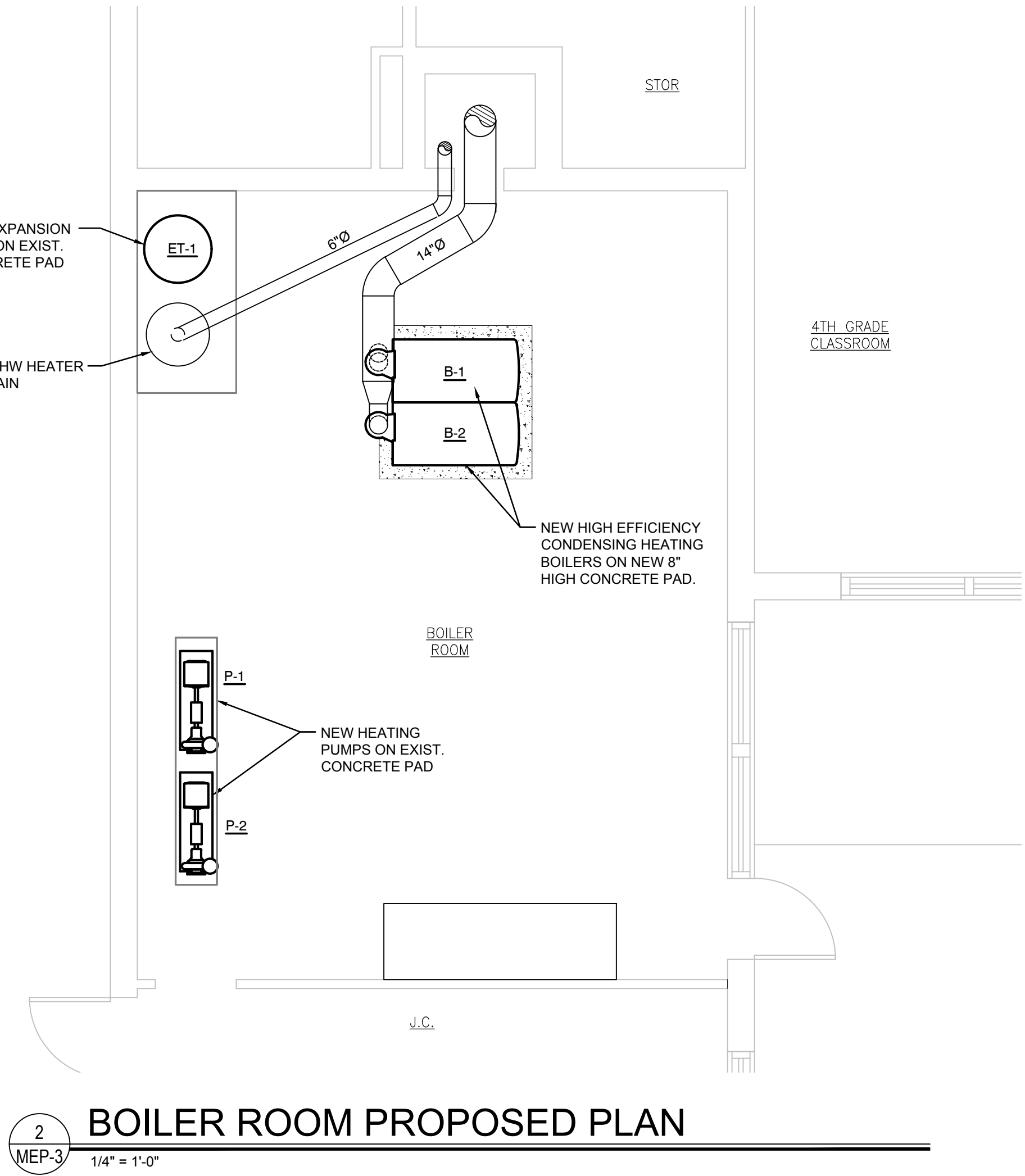
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MEP-3



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Revisions:	
LAN ASSOCIATES engineering • planning • architecture • surveying 445 GODWIN AVENUE, MIDLAND PARK, N.J. 07432 (201)447-6400	
BOILER ROOM PLANS RENOVATIONS AND ALTERATIONS TO BROOKLAKE ELEMENTARY SCHOOL FLORHAM PARK BOARD OF EDUCATION FLORHAM PARK, MORRIS COUNTY, NJ	
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